



Full Size ORV Area

Such areas create opportunities for technical trail riding and a "safari-like" experience. Trails should be restricted to full size and UTVs.



Unlimited ORV Area

Steep topography and low elevations minimize noise and create viewing opportunities. These areas are ideal for trails, tracks, and obstacles for all vehicle types.



Parking Area

Separate parking areas should be created to minimize walking distance to recreational attractions. However, parking lots should be situated to create shared use opportunities.



Field Sports Complex

Large portions of the old golf course should be re-graded to create a multi-field sport complex capable of hosting tournament play. Water features created for the golf course could be repurposed for field irrigation.



Berm Augmentation

These areas are ideal for creating or enhancing landscape berms to control sound and shape viewsheds.



Dog Park

The creation of a dog park separate from the campground entrance should support 4 season use of the park and better serve the local community. A water feature should be included.



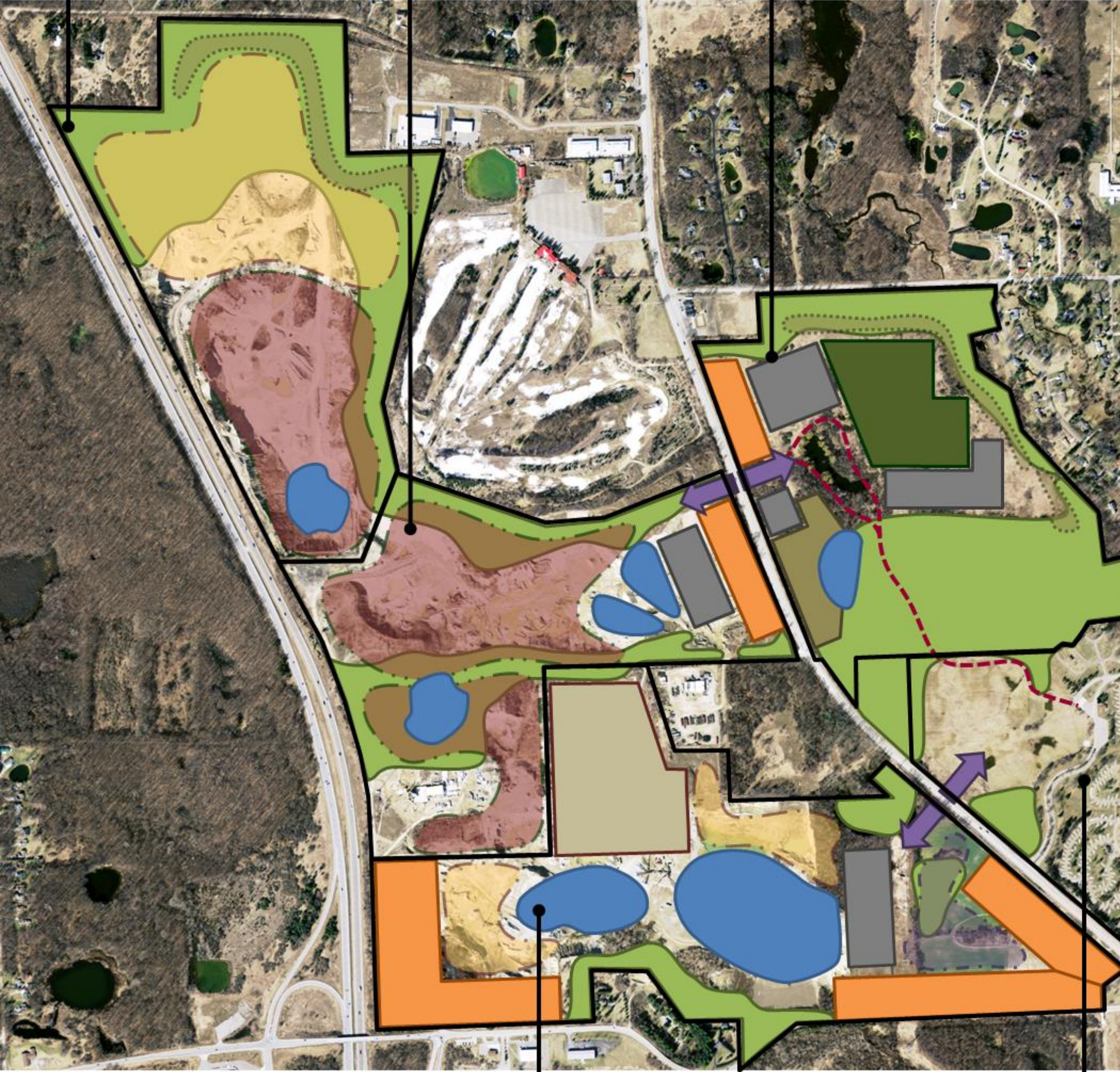
Under Pass or Intersection Opportunity

An intersection with a traffic light could promote safe access between Groveland Oaks East and West. However, an underpass would be more convenient, allow for ORV travel, and even support the potential mining of the old golf course as part of site redevelopment.

**Groveland Oaks West
– Upper Section**

**Groveland Oaks West
– Middle Section**

**Groveland Oaks East
– Upper Section**



**Groveland Oaks West
– Lower Section**

**Groveland Oaks East
– Lower Section**



Constructed Waterbody

Waterbodies should be constructed as part of the mining process to maximize extraction potential, to provide water for dust control, and to create recreational attractions.



Material Processing Area

Private inholdings should be viewed a benefit to park development and on-going operations by providing access to onsite equipment and mining expertise.



BMX and Mountain Bike Track

Private inholdings should be viewed a benefit to park development and on-going operations by providing access to onsite equipment and mining expertise.



Commercial Development

Portions of the site should be redeveloped for commercial purposes to enhance the quality of the recreation experience by creating direct access to food, lodging, parts, and supplies.



Restored Natural Area

Large portions of the future park should be restored to improve the quality of the recreational experience and support the local Green Infrastructure Vision.



Park Road

Internal access should be created to link new recreational attractions to the campground.