

Dixie Highway Design Guidelines

Groveland Township DRAFT

September 2021

Article 3, Division 17

Intent

The Dixie Highway Corridor is important because it is expected to see significant development and is highly visible to the traveling public. The Dixie Highway Design Guidelines are a tool to promote high quality development that is compatible with the character of Groveland Township. The Design Guidelines communicate Township priorities and expectations for new development and major site improvements. All graphics are for conceptual and illustrative purposes only.

This document is a planning resource that should be used in the planning and pre-design phase of new development, renovations, site improvements, and rehabilitation of existing buildings. All proposed development and construction within the Dixie Highway Overlay District shall comply with the Dixie Highway Design Guidelines. When one parcel falls under the Dixie Highway Overlay and the Planned Development Overlay (PD), the Dixie Highway Overlay guidelines supersede the PD Overlay regulations, except for the minimum lot size requirement.

The Township urges business owners and developers to review this document and then discuss their design concept and site plans with Township staff to facilitate a more productive development review process and ensure that proposals align with the community's vision for the Dixie Highway Corridor.

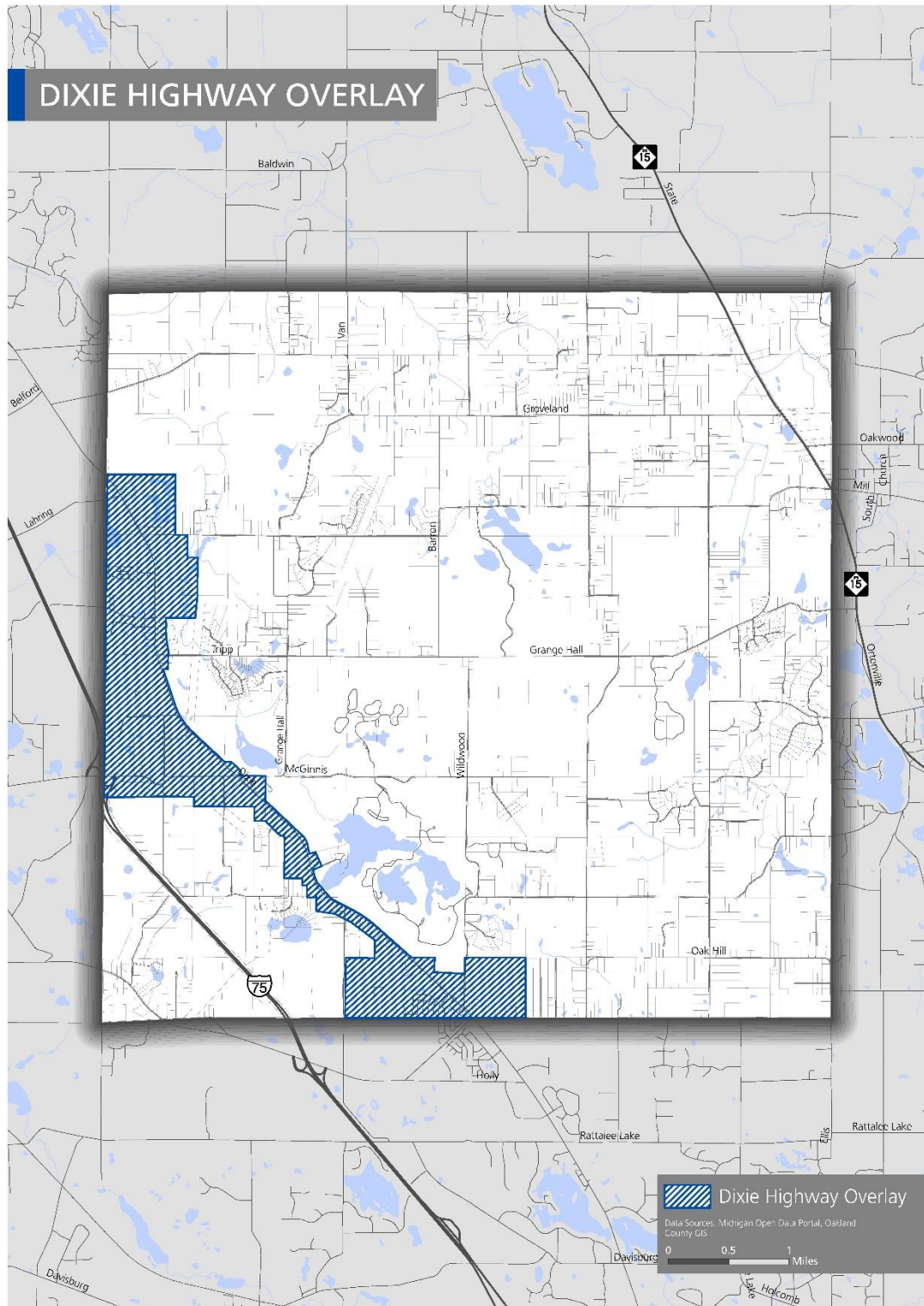
The Design Guidelines were created with the following intentions:

- Establish a cohesive and attractive set of standards for the Dixie Corridor that reflects the Township's rural character natural beauty.
- Create easy-to-use guidelines to make development on Dixie Highway predictable and of a high-quality investment.
- Preserve natural views and incorporate unifying design elements.
- Promote building and site design elements that are pedestrian- and bicycle-friendly.
- Promote linkages that connect landmarks, natural features, and focal points to create destinations.
- Incorporate green technology into building and site design.
- Promote the decorative use of *barn quilts* on public and private property to develop a specific image that offers a unique and authentic design and connects to the rural heritage of the Dixie Highway.



Dixie Highway Corridor Overlay Boundaries

The boundaries of the Dixie Highway Corridor Overlay are established in the map below.



1. Dimensional & Use Standards

- The minimum lot size in the overlay district is 2.5 acres with a minimum front setback of 100 feet from Dixie Highway right-of-way to maintain rural spacing and reduce the number of curb cuts on Dixie Highway. This setback will be measured from the edge of the highway's shoulder on the same side of the corridor as the structure to the closest point of the structure's façade.
- The minimum front width of a parcel abutting the Dixie Highway shall be at least 100 feet.
- In an effort to maintain Dixie Highway as a lower density commercial corridor, the combined square footage of all structures on the parcel shall not exceed 50% of the lot's total square footage and no more than 75% of the parcel is covered in impervious surfaces.
- All permitted retail or service establishments that are located on Dixie Highway shall deal directly with consumers. At least some of the goods produced on the premises shall be sold at retail on the premises where produced.
- Single-family homes and farm structures are exempt from these guidelines, provided they meet the base zoning district standards.
- The guidelines shall apply to new non-residential development and additions to non-residential structures that exceed 10% of the principal structure's gross floor area.

2. Building and Site Details

The design guidelines ensure that new development will reflect and enhance the Township's rural character with an emphasis on open space planning and natural resource preservation. This section discusses site organization, building orientation, vehicular access and circulation, pedestrian amenities, and building architecture to protect the viewshed of natural features. The Township encourages building and site design to follow the standards in Section 54-474(m) and (n) of the Zoning Ordinance to incorporate green technology with the assistance of an Engineer.

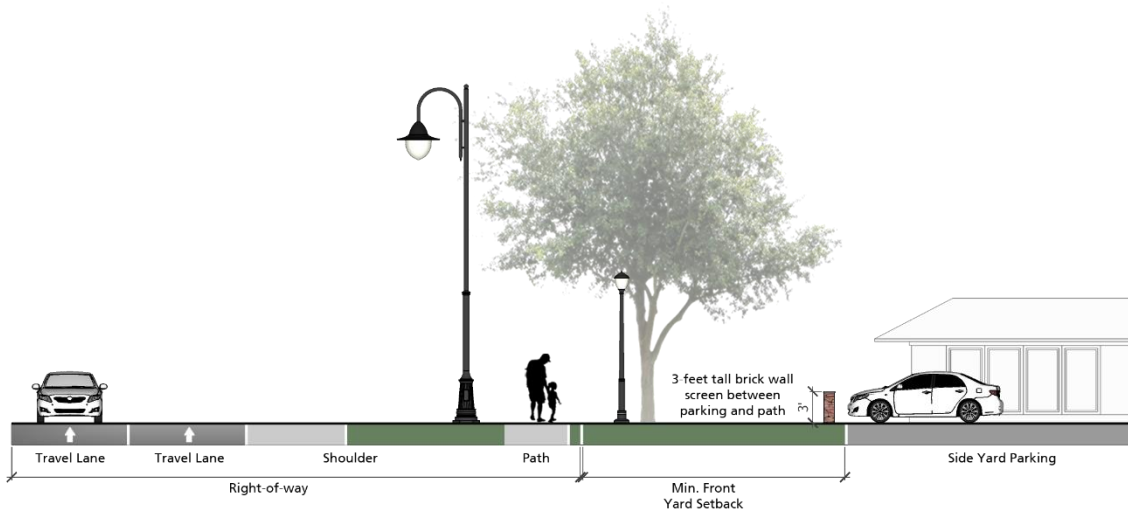
2.1 Site Organization and Building Orientation

Building orientation is an important component of site design that articulates the building's relationship to roadways, natural features, adjacent buildings and uses, parking areas, and pedestrian circulation networks. Buildings and structures' orientation should take advantage of the natural topography of the site. Setbacks should reflect the surrounding development and encourage pedestrian pathways, plazas, landscaping, and natural feature buffers. Building orientation shall allow for the buildings to have a greater presence along Dixie Highway, while accommodating shared views of natural features.

- The main building entrance shall provide convenient access to parking facilities and pedestrian pathways.
- Where possible, building orientation shall offer views of natural features and desirable conditions for usable public space.
- ADA-compliant pedestrian pathways shall be used to connect buildings, parking facilities, and community amenities.
- In addition to windows and doors, façades shall be articulated with vertical and horizontal details. Architectural features and design elements shall be integrated into the design of all

building elevations that face Dixie Highway or other side streets, as well as on-site parking areas or community amenities.

- The Township does not permit the placement of parking lots in the front yard. Parking is permitted only in the side and rear yards. When parking is located in a side yard (behind the front building line) and has frontage on a public right-of-way, no more than forty percent of the total site's frontage shall be occupied by parking.
- Where parking is visible from a street, it shall be screened by a three-foot tall brick screen wall located between the parking lot and the sidewalk. The Planning Commission may permit a hedge row or similar ornamental fence instead of a brick wall.
- Shared parking facilities between sites is encouraged.
- The proportions and relationships between roof, doors, windows, terraces, overhangs, and other building elements shall be harmonious with the architectural style and site design.

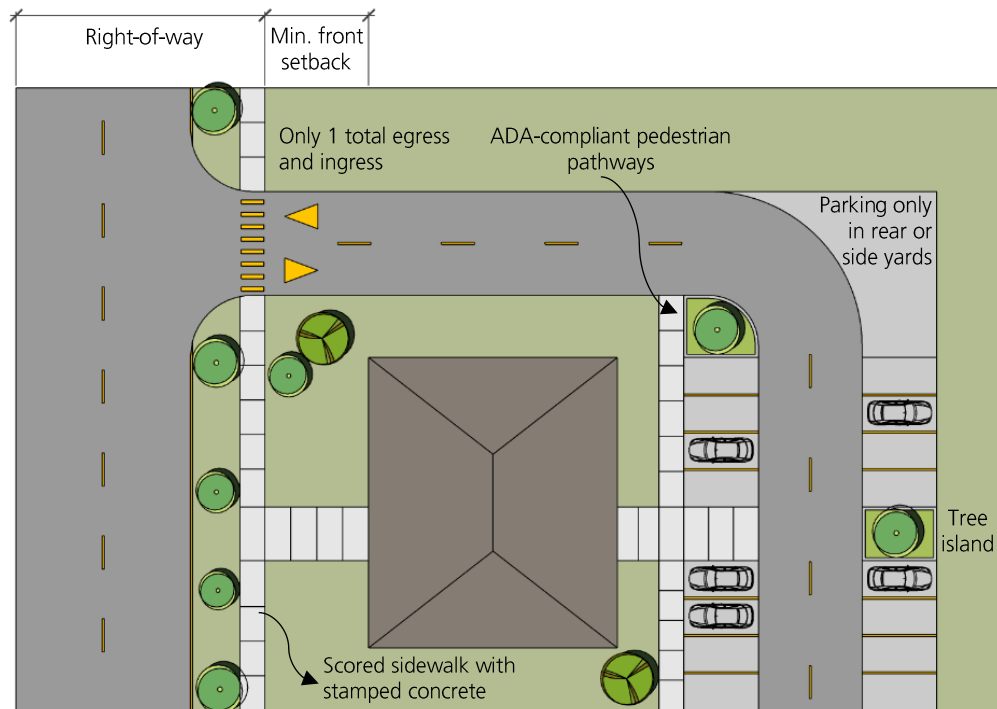


2.2 Site Access and Circulation

Site access and circulation shall be designed to promote vehicular and nonmotorized traffic safety. Sites shall provide walkability within the development and between neighboring developments. Access and circulation shall be designed to highlight architectural features, site landscaping, streetscape elements, and nonmotorized fixtures while de-emphasizing off-street parking facilities. Layout shall reduce potential for congestion and conflict between different travel modes.

- All current access management standards of the Oakland County Road Commission shall be met.
- Where a parking lot for a nonresidential use is adjacent to a residential use, a three-foot tall screen wall shall be provided between the parking lot, including drives, and the residential use. The wall shall be made of the same or similar materials as the principal structure or of brick or stone.
- Travel ways and/or grade separation for vehicular and pedestrian traffic is required.

- Each parcel shall have only one total egress and ingress drive onto Dixie Highway. Larger development sites may utilize side streets and shared access drives or request additional driveways through the site plan review process.
- Vehicular access for corner lots shall be located as far as possible from the road intersection.
- Parking lots with over 10 parking spaces shall incorporate one tree island for every 10 parking spaces. The tree island shall be at least 100 square feet and feature a tree from the approved plant list and salt tolerant plants.



- Sidewalks shall be a standard scored with stamped or textured concrete, crushed compacted aggregate, or stone or brick pavers.
- Driveways and parking areas should be designed to accommodate snow removal. In addition to a loading zone, the parking lot shall designate another area that is 20' x 40' to store excess snow.



Scored sidewalk with stamped concrete
Source: Form & Pour



Crushed aggregate sidewalk
Source: This old house



Brick pavers sidewalk
Source: Stonewood products

2.3 Architectural Features

Architectural features shall be compatible and complementary with the rural character of Groveland Township. Building design shall incorporate materials to convey permanence, substance, timelessness, with low maintenance. Buildings shall employ natural materials for the foundations, piers, terraces, and other façade elements. The placement, pattern, scale, size, and rhythm of window and door openings on building façades, including their proportions and the details around them, are important elements of architectural style.

Façade

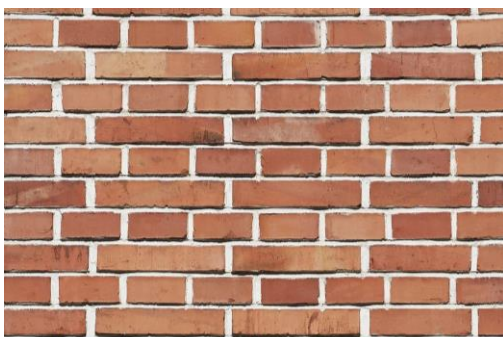
- Any façade over 100 ft in length shall be broken up with any of the following: building material changes, variations in height, projections, bays, or recesses, or architectural detailing. To ensure adequate natural lighting in the building, at least one-third but no greater than two-thirds of the façade shall be dedicated to window space.
- Create the sense of a front porch through the use of columns and overhangs. Column measurements shall be proportional to the scale of the building. Open trellis work (pergolas) is encouraged for public spaces and pedestrian walkways.
- A neutral base exterior color with complementary accents, including wood, earth tone materials, or contrasting trim color approved by the Planning Commission.
- Buildings shall employ natural or natural-looking materials. Permitted siding options include clapboard, wood shingles, brick, and field stone. Stucco and Exterior Insulation and Finish Systems (EIFS) are permitted they account for 20% of less of the total exterior.



Clapboard siding



Wood shingles siding
Source: Modernize



Brick siding



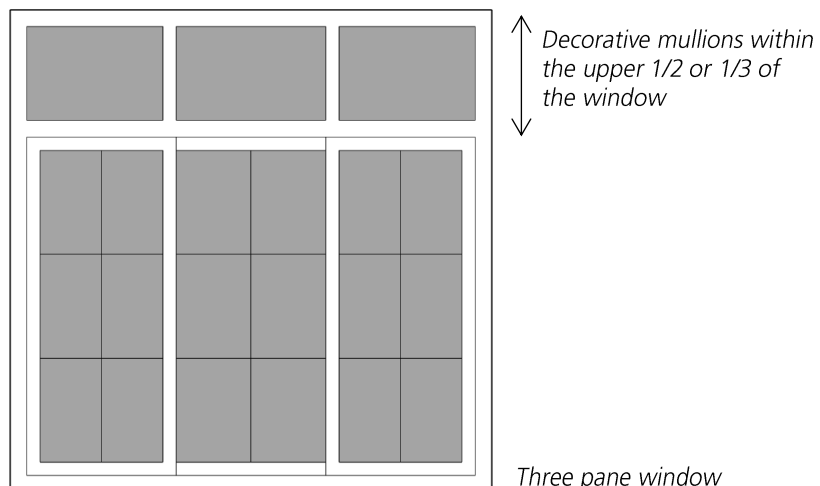
Fieldstone siding
Source: The Home Depot

Roofs:

- A flat roof may be approved by the Planning Commission if at least one of the following circumstances listed below is met:
 - For a land use where a flat roof can be proven necessary to the primary function of the business
 - It is on a parcel that does not touch Dixie Highway and is screened by 6 ft tall evergreen trees and is at least 250 feet from the ROW.
 - It is on a parcel that touches Dixie Highway but the structure with the flat roof sits behind a structure that complies with the roof standards in this section and is completely screened from the right-of-way.
- Roofing materials may include asphalt, wood shingles, or metal. A medium to dark brown, black, gray, or green color is required, unless otherwise approved by the Planning Commission.
- Roof gables within a single building may be varied in size to accommodate pedestrian scale.
- Hipped roofs are permitted and may be designed with a series of broad, gently sloping roofs.
- Exposed rafters and triangular knee braces are permitted along the roof overhangs, and columns may have some tapered element.
- Overhangs may be boxed with wood paneling to create an outdoor ceiling. Only the horizontal masonry joints may be recessed to emphasize the horizontal orientation of the structure.

Windows:

- Windows are generally organized into groups of three, with a larger center window and decorative mullions, preferably within the upper portion (1/2 or 1/3) of the window.
- Exposed beams and continuous horizontal bands along the top/bottom of windows are also permitted.
- Windows may be vertical dimension or perfectly square.



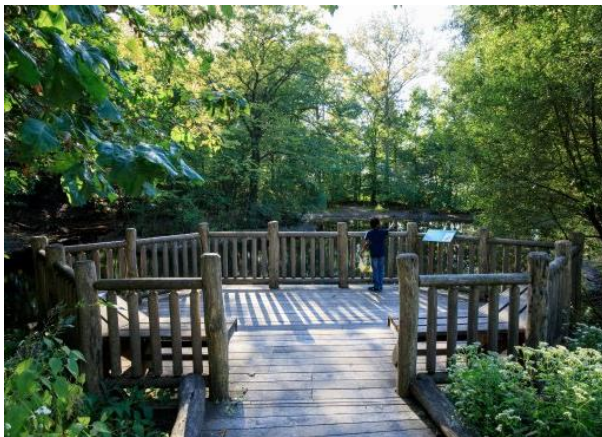
Non-Traditional Entrances:

Roll top garage doors and cantilever folding doors may be used as private or customer entrances.

2.4 Community Amenities

Dixie Highway is Groveland Township's main commercial corridor and a major gateway. As such, community amenities offer gathering space for residents and shoppers. Larger sites, over 2.5 acres, should offer more amenities, including places for gathering, passive recreation, outdoor seating, and the observation of nature. Community amenities create community assets that establish Dixie Highway as a destination.

- Pedestrian fixtures (benches, trash receptacles, hanging baskets, seasonal planters) shall be coordinated with overall site concept and architecture. Recommended materials include natural wood, black powder-coated metal, and stone.
- Seating shall be incorporated as a basic community amenity. Sites shall offer a variety of seating options including some of the following: low walls, raised planters, benches, and picnic tables. Outdoor storage is prohibited. Storage must be contained in an enclosed structure.
- Outdoor gathering spaces and cafe seating shall incorporate fixed elements that create the sense of an outdoor room. Examples include fence detail, pergolas, gazebos, planter wall, stone pillars, and landscaping. If incorporated, fixed elements such as fence detail and landscaping must comply with specific guidelines outlined in this document.
- Amenities may also include bike racks with dedicated safety path connections.
- Boardwalks and bridges along water features and wetland areas are highly encouraged.
- Nature overlooks with walking paths and educational signage would be an additional benefit at some sites.



Nature overlook with educational signage
Source: Trip Advisor



Walking paths through preserved open space
Source: City of New Albany



*Seating and gathering area
Source: Pinterest*

3. Lighting

3.1 Roadway and Site Entry Lighting Details

Lighting enhances the aesthetic of the corridor, establishes a more inviting space, and supports nighttime activities. An appropriately lit physical environment is critical to traffic safety, as well as building and pedestrian safety. Whenever a conflict exists between these guidelines and Section 54-667, the conflict shall be resolved in favor of the guidelines.

- Use of teardrop and traditional or acorn style lighting fixtures to offer a unifying streetscape element. The selected lighting style shall be uniform along the parcel's frontage.
- All streetscape and entry lighting fixtures shall be black.
- Direct lighting downward onto the roadway, path, or other hard surface to avoid glare or sky glow. Fixture arm for roadway lighting shall be directed towards Dixie Highway. A double arm fixture may be used for boulevard site entrance or parking lot lighting.
- For roadway lighting along Dixie Highway, use the DTE Community Lighting Standard. Use Holophane Esplanade style teardrop LED luminaire series light fixture or closest similar option available through DTE. Roadway lighting shall be 27 feet tall.
- Lighting placement shall be coordinated with a photometric plan submitted to the Township during the site plan review process. Footcandle requirements are listed in 54-667.
- A warm to neutral light is the preferred color temperature. LED correlated color temperature (CCT) should be in the range of 2700-4000 kelvin (k). Color rendering index (CRI) should be greater than 70.



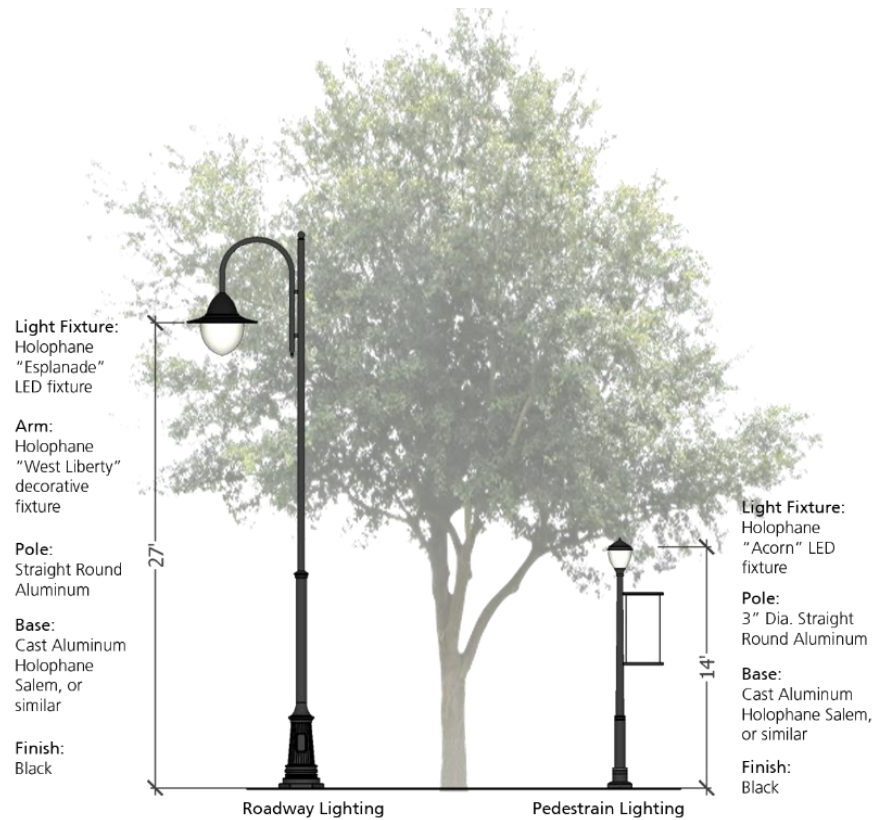
*Holophane Esplanade style teardrop LED light fixture
Source: Acuity Brand*

- In areas with greater potential for pedestrian-vehicle conflict, higher light levels are required, unless evidence is presented that higher light levels would create greater conflict between motorist and nonmotorized users.
- All lighting fixtures should be cutoff or fully shielded using internal device or external shield.

3.2 Parking Lot and Pedestrian Lighting

- Parking lot and pedestrian light fixtures should be compatible with the corridor street lighting. All new or replacement fixtures shall be black.
- Lighting shall be directed downward onto the internal drive, path, parking area, or other hard surface to avoid glare or sky glow.
- For site and parking lot lighting, box type fixtures may be used. Fixtures shall be downward directed in accordance with current Township lighting standards.
- For pedestrian fixtures and site lighting, LED teardrop or globe with acorn shape that is complementary to the DTE standard fixture is encouraged. Pedestrian fixtures shall be 14 feet tall.
- Lighting placement shall be coordinated with other site elements such as street trees, signage, fence details, and utility poles so as not to block the light.
- Accent light fixtures shall be complementary in terms of material, scale, and style.
- Lighting may be equipped with enhancements such as hanging baskets, banners, and holiday lighting, as approved by the Township. Enhancements shall be installed securely and at a height which accommodates safe vehicular and/or pedestrian traffic.
- Lighting placement shall adhere to the photometric plan submitted to the Township.
- A warm to neutral light is the preferred color temperature. LED correlated color temperature (CCT) should be in the range of 2700-4000 kelvin (k). Color rendering index (CRI) should be greater than 70.
- In areas with greater potential for pedestrian-vehicle conflict, higher light levels are required.
- All lighting fixtures should be cutoff or full shielded using internal device or external shield.





4. Landscaping

A main goal of Groveland Township is to develop and implement appropriate and effective tools to protect the area's rich natural resources. The plants that grow naturally are very important because they not only help define the character of the Township, but also provide environmental, economic, and social benefits. The landscaping guidelines balance the needs of the site with historic landscape of the corridor by permitting a range of vegetation and design: the use of native plants and natural, free-form landscape design, hardy, drought-resistant, and low-maintenance native plants that complement and coexist with the native landscape.

4.1 Site Entrance Landscape Details

Streetscape plantings enhance the aesthetics of the Dixie Highway Corridor by defining the corridor, softening the roadway edge, and screening off-street parking. The Township site entrance landscape guidelines are designed to protect and preserve the community's natural appearance, rural character, and enhance aesthetic value by regulating the gateway of properties fronting Dixie Highway.

- Screening between residential and nonresidential uses is required by earth berm or evergreen screen that is at least 6 feet in height.
- Arrange plantings in a way that conveys a natural design and organic form. Plantings shall be clustered and staggered in the front yard. One canopy tree shall be provided for every 40 feet within the front yard should not be planted in a straight line at equal intervals.

- Incorporate a mix of evergreen and deciduous trees and shrubs into the site entrance landscape. Evergreen trees are required for screening and to provide a backdrop for signage, flowering planter beds, and other site amenities.
- Where possible, preserve and incorporate existing, high-quality trees into the overall landscape design without overcrowding or disturbing established root systems. For the purposes of these guidelines, a high-quality tree is defined as a tree that is at least 24 inches in diameter at breast height, is a non-invasive species, and is deemed in good condition by a qualified professional.
- Field stones may be used to define the edge of a planter bed, create a terraced landscape, or used intermittently within a planting area. Use natural material to mulch planting areas. River rock may be used for stormwater management applications that incorporate native plantings.
- Utilize native Michigan plant species for the greenbelt and site entrance landscape. Color blocks and plant combinations that vary in terms of height, texture, movement, color, and flowering season are highly encouraged.
- A recommended plant list has been provided below. If the proposed tree deviates from suggested types, it shall have to be approved first by a qualified professional to ensure that the species does not have the potential to harm the existing tree stock.



Naturalized water features
Source: Aquascape



Plantings of various heights and textures along a curved landscape bed
Source: Landscaping Network



Colour blocked planting
Source: Better Homes & Gardens

4.2 Site Landscaping

Some of the primary functions of site landscaping and plantings include natural stormwater management, definition of public space, shading, natural features buffer, and parking lot landscaping. Landscape design shall incorporate existing native species and local materials such as

fieldstone. Site landscaping shall comply with all guidelines detailed in section [4.1](#) and to the additional guidelines listed below.

- Spruce and fir trees as well as native woody shrubs are recommended for screening and provide a backdrop for signage, flowering planter beds, and other site amenities. In addition to common deciduous canopy tree varieties, pine trees offer a suitable alternative and provide moderate shade.
- Design shall incorporate pathways, benches and other amenities that provide opportunities for people to interact with the landscape.
- Water features shall be natural in form and material, including ponds, streams, bioswales, and rain gardens. Stormwater detention and drainage systems shall incorporate natural landscape.
- Hardy, low maintenance plants that do not require sprinkler irrigation systems are encouraged.
- Landscaping shall incorporate a variety of plant material including ground cover, low grasses, forbs (flowers), shrubs, and tall grasses.
- A recommended plant list is provided below. If the proposed tree deviates from suggested types, it shall have to be approved first by a qualified professional to ensure that the species does not have the potential to harm the existing tree stock.



Diverse Planting in naturalistic arrangement
Source: Buncombe County Master Graders



Bioswales near a pedestrian path

The following is a recommended plant list.

Trees	Streetscape	Parking Lot	Entry & Site Landscape	Open Space	Screening
Fir (<i>Abies</i>)	x		x	x	x
Pine (<i>Pinus</i>)	x	x	x		
Red cedar (<i>Juniperus</i>)					x
Spruce (<i>Picea</i>)	x				x
Beech (<i>Fagus</i>)	x			x	
Canada Red Cherry (<i>Prunus virginiana</i>)			x		
Blackgum (<i>Nyssa</i>)			x		
Bur Oak (<i>Quercus macrocarpa</i>)	x			x	
Dogwood (<i>Cornus florida</i>)	x		x		
Honeylocust (<i>Gleditsia</i>)	x	x		x	
Linden (<i>Tilia</i>)	x	x		x	
Pagoda dogwood (<i>Cornus alternifolia</i>)			x	x	
River birch (<i>Betula nigra</i>)			x	x	x
Red maple (<i>Betula nigra</i>)	x	x	x	x	
Sugar maple (<i>Acer saccharum</i>)	x	x		x	
White Oak (<i>Quercus alba</i>)	x			x	

Shrubs	Streetscape	Parking Lot	Entry & Site Landscape	Open Space	Screening
Arborvitae (<i>Thuja</i>)					x
Black chokeberry (<i>Aronia melanocarpa</i>)			x		x
Juniper (<i>Juniperus</i>)					x
Yew (<i>Taxus</i>)					x

American Hazelnut (<i>Corylus americana</i>)			X		
Gro-Low Sumac (<i>Rhus aromatica</i>)	X	X	X		
Ninebark (<i>Physocarpus opulifolius</i>)			X	X	X
Shrubby cinquefoil (<i>Potentilla fruticosa</i>)	X		X		
Serviceberry (<i>Amelanchier arborea</i>)	X		X	X	X
Viburnum varieties	X		X	X	X

Grasses & Sedges	Streetscape	Parking Lot	Entry & Site Landscape	Open Space	Screening
Big Bluestem (<i>Andropogon gerardii</i>)	X	X	X	X	
Buffalo Grass (<i>Buchloe dactyloides</i>)	X	X	X	X	
Indian Grass (<i>Sorghastrum nutans</i>)	X	X	X	X	
June Grass (<i>Koeleria cristata</i>)	X	X	X	X	
Little Bluestem (<i>Schizachyrium scoparium</i>)	X	X	X	X	
Pennsylvania Sedge (<i>Carex pensylvanica</i>)	X	X	X	X	
Purple love Grass (<i>Eragrostis spectabilis</i>)	X	X	X		
Switch Grass (<i>Panicum virgatum</i>)	X	X	X	X	X

Flowers	Streetscape	Parking Lot	Entry & Site Landscape	Open Space	Screening
Black-eyed Susan (<i>Rudbeckia hirta</i>)			X	X	X
Butterfly-weed (<i>A. tuberosa</i>)			X	X	

Cardinal Flower (<i>Lobelia cardinalis</i>)			x	x	
Culver's Root (<i>Veronicastrum virginicum</i>)			x	x	
Early Goldenrod (<i>Solidago juncea</i>)			x	x	
False Boneset (<i>Brickellia eupatorioides</i>)			x	x	
Flowering Spurge (<i>Euphorbia corollata</i>)			x		
Golden Alexanders (<i>Zizia aurea</i>)			x		
New England Aster (<i>Aster novae-angliae</i>)			x	x	
Prairie Coreopsis (<i>Coreopsis palmata</i>)			x	x	
Purple Coneflower (<i>Echinacea pallida</i>)			x	x	x
Spiderwort (<i>Tradescantia ohimensis</i>)			x	x	
White Gentian (<i>Gentiana alba</i>)			x		
Wild Strawberry (<i>Fragaria virginiana</i>)			x		
Wild-bergamot (<i>Monarda fistulosa</i>)			x	x	

5. Fence Details

The Township proposes a fence detail that is intended to create visual interest and accent the entry landscape. The fence detail offers a unifying element, but it is not intended to create a continuous fence line across the entire parcel frontage. Any property is encouraged to incorporate this feature into their streetscape design. Fences may be located in any required setback, so long as the structure does not obstruct driver and pedestrian visibility (review section 54-715 "obstructions to vision" in the Zoning Ordinance).

- Pedestrian circulation pathways take priority in terms of site design and arrangement; fence placement and landscape screening material shall accommodate ADA compliant non-motorized connections between adjacent uses.

- The fence shall be a wood, cedar split rail fence. There shall be two rails with simple wooden posts set 8 feet apart. The fence detail shall include 1'-6" x 1'-6" square decorative fieldstone pillars of natural stone with limestone cap, placed at corners and end of fence, every 24 feet.
- The fence detail may be configured to accommodate larger landscaped areas and street trees or be incorporated into seating areas or signage landscaping.



6. Sign Details

The sign guidelines are designed to ensure businesses can be identified and that signage is integrated with the overall site design and architectural style, including composition, materials, colors, and details. Signage should not create visual clutter or demonstrate a hazard to vehicular or pedestrian traffic safety. All permanent signs shall be integrated with the architecture and site design using materials, proportions, and color schemes that complement the overall design. Signs shall not obscure or conceal architectural features. For more detail on sign requirements, see Article IX of the Zoning Ordinance.

- No other sign types than the ones discussed in this Overlay district are permitted.
- A freestanding sign in the overlay district shall not be supported by a single pole. It shall be supported by either a platform base, by two columns, or by two columns with a base.
- Changeable copy or electronic message boards shall be limited to fifty percent (50%) of the sign and shall not change more than four times in a 24-hour period. A sign on which only the electronic or mechanical display of time or temperature changes shall be considered a "time and temperature" portion of a sign and not a changeable copy sign.
- Freestanding signs shall be constructed on a natural or synthetic stone or brick base with a ledge detail of metal or limestone. The height of the base shall be between a minimum of 1'-0" and a maximum of 2'-6". Freestanding signs shall not exceed 8 feet. Ground signs may also be constructed with stone or brick columns as an alternative to a base. Columns may be tapered and shall be appropriately scaled. The support structure for a ground sign shall not exceed 25% of the maximum permissible area of the sign, per the ordinance.
- For freestanding signs, sign content (text and graphics) shall utilize white or light colors with a contrasting dark background color. This applies to all freestanding signs, including multiple tenant signage. Compatible font style and letter size are encouraged. All signage may be internally lit. Freestanding signage up to 6 feet in height may be illuminated with ground lighting that shines upward or goose-neck lighting that shines downward on the sign face. Illumination type shall not create glare.

- For wall signs, dimensional metal letters or sand-blasted signs with a wood grain finish with exterior goose-neck lighting are preferred. Illuminated channel letters and halo channel letters may be used.



Sand blasted wood grain finish wall sign
Source:

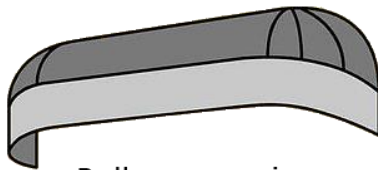


Dimensional metal letters wall sign
Source:

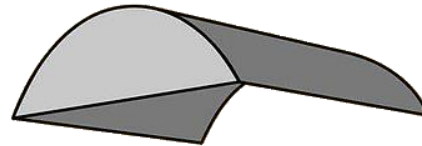


Goose neck lighting
Source:

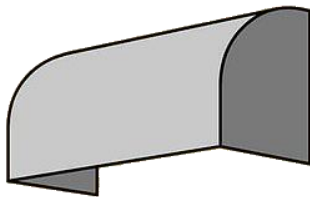
- For multi-tenant buildings, wall signage shall be consistent in scale and installed at a consistent height along building façade.
- Projecting signs are not permitted due to the scale of the Dixie Highway Corridor right-of-way.
- Canopy signage on standard awnings is permitted if used consistently within the site. Signage text may not be added to bull nose, half round, quarter round, or waterfall style canopies.



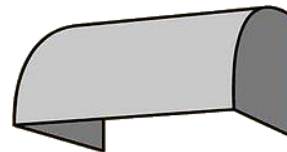
Bull nose awning



Half round awning



Quarter round awning



Waterfall

Signage text may not be added to these canopy types



Flexibility in Application

The purpose of the Dixie Highway Design Guidelines is to establish design expectations for new development, renovations, site improvements, and rehabilitation of existing buildings. According to the Dixie Highway Overlay District zoning regulations, all proposed development and construction within the Dixie Highway Overlay District shall comply with the Design Guidelines.

However, the Township recognizes that applicants may experience building and site constraints that prevent the full or partial realization of certain guideline requirements. The Township is willing to work with applicants on a case-by-case basis to allow for some design flexibility while still ensuring that the design intent is met.

For instance, smaller sites or sites with significant natural features may require some flexibility and creativity in building orientation, access and circulation, and community amenities. Also, the Township may modify the architectural style guidelines for existing buildings, particularly historic structures. Where applicable, the Township may approve building improvements and enhancements consistent with the building's true architectural style.